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November 10, 2009

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SUBJECT: START 3, EPA Region 8, Contract No. EP-W-05-050, TDD No. 0909-08

Phase I ESA Report – Wheat Ridge 7100/7150 West 38th Avenue Targeted Brownfields

Assessment (TBA) Wheat Ridge, Jefferson County, Colorado

Dear Joyce:

Attached is one copy of the final Phase I Environmental Site Assessment (ESA) Report for the Wheat Ridge 7100/7150 West 38<sup>th</sup> Avenue TBA, Wheat Ridge, Jefferson County, Colorado. Per your request I have sent one copy of this report to Denise Balkas, Director of Real estate Development with Wheat Ridge 2020. A site visit was conducted on October 6, 2009. This document is submitted for your review and approval.

If you have any questions, please call me at 303-291-8272.

Very truly yours,

URS OPERATING SERVICES, INC.

Jeremiah Ervin Project Manager

Attachment

cc: Charles W. Baker

w/o attachments

File/UOS

# START 3

Superfund Technical Assessment and Response Team 3 - Region 8



United States
Environmental Protection Agency
Contract No. EP-W-05-050

## PHASE I ENVIRONMENTAL SITE ASSESSMENT (ESA) REPORT

WHEAT RIDGE 7100/7150 WEST 38<sup>TH</sup> AVENUE TARGETED BROWNFIELDS ASSESSMENT (TBA) Wheat Ridge, Jefferson County, Colorado

TDD No. 0909-08

# **NOVEMBER 10, 2009**



In association with:

Garry Struthers Associates, Inc. LT Environmental, Inc. TechLaw, Inc. Tetra Tech EM, Inc. TN & Associates, Inc.

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Date: 10/2009
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#### PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

## WHEAT RIDGE 7100/7150 WEST 38<sup>TH</sup> AVENUE TBA Wheat Ridge, Jefferson County, Colorado

EPA Contract No. EP-W-05-050 TDD No. 0909-08

> Prepared By: Jeremiah Ervin Environmental Scientist

URS Operating Services, Inc. 1099 18th Street, Suite 710 Denver, CO 80202-1908

Approved:	Toyce Ackerman, On-Scene Coordinator, EPA, Region 8	_ Date: _ <i>]  - 20 - 0 q</i>
Approved:	Charles W. Baker, START 3 Program Manager, UOS	
Approved:	Jeremiah Ervin, START 3 Project Manager, UOS	Date: 11/10/200°

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Wheat Ridge 7100/7150 West 38th Avenue TBA - Phase I
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#### PHASE I ENVIRONMENTAL SITE ASSESSMENT

# WHEAT RIDGE 7100/7150 West 38<sup>th</sup> AVENUE TARGETED BROWNFIELDS ASSESSMENT Wheat Ridge, Jefferson County, Colorado

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Table B	Recommendations for Phase II Activities for Each Recognized Environmental Condition

#### **APPENDICES**

Appendix A	Project Photolog
Appendix B	City of Wheat Ridge Community Development Department - Building Permits
Appendix C	Environmental Data Resources (EDR), Inc. Radius Report with GeoCheck®, Historical
	Topographic Maps, and Sanborn Map Report (under separate cover)

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1.0 INTRODUCTION

This document is submitted in accordance with the task elements specified in Technical Direction Document

(TDD) 0909-08 dated September 29, 2009, issued to URS Operating Services, Inc. (UOS) Superfund

Technical Assessment and Response Team 3 (START) in Region 8 of the U.S. Environmental Protection

Agency (EPA). The purpose of this TDD is to perform a Targeted Brownfields Assessment (TBA) at the

property located at 7100/7150 West 38th Avenue in Wheat Ridge, Jefferson County, Colorado.

Wheat Ridge 2020 (WR2020), a community-based non-profit development corporation, has requested

assistance from the EPA with characterizing environmental conditions for the 7100/7150 West 38th Avenue

property in Wheat Ridge, Jefferson County, Colorado (Figure 1). WR2020 intends to sell the currently

unoccupied property to a buyer who wants to use the building on the property as a bakery and restaurant

(Wheat Ridge 2020 (WR2020) 2009). This Phase I includes a report on the current property conditions, a

compilation of existing data, and a review of related information in federal, state, local, and Tribal

environmental databases. The property reconnaissance was conducted by environmental professionals

Jeremiah Ervin and John West (START) on October 06, 2009, and is documented in the project log book

(URS Operating Services, Inc. (UOS) 2009).

1.1 **PURPOSE** 

The purpose of this Phase I is to identify recognized environmental conditions in connection with the

property. Specifically, the objectives of this Phase I are to:

Conduct interviews with the present and past owners, operators, and occupants of the

property;

Conduct a property reconnaissance;

Review historical data regarding property use and investigative activities that have been

performed at and near the property;

Characterize existing recognized environmental conditions related to the presence or likely

presence of any hazardous substances or petroleum products that present a material risk of

harm to public health or the environment; and

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Prepare a report, summarizing property issues that may require further investigation or action.

Recognized environmental conditions are defined in ASTM International standard E 1527-05 as the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de minimis conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis are not recognized environmental conditions (ASTM International (ASTM) 2005).

#### 1.2 DETAILED SCOPE OF SERVICES

The scope of this Phase I includes research and reporting requirements that support the TBA Grantees' desire to sell the property to a buyer who wants to use the property as a bakery and restaurant.

The scope of services follows standards documented in the ASTM Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process with ASTM International designation: E 1527-05 (ASTM 2005). This scope of services may be modified by EPA as more information regarding property conditions becomes available.

#### 1.3 SIGNIFICANT ASSUMPTIONS, LIMITATIONS, AND EXCEPTIONS

No analytical data for any media at the property were available during this investigation. Assumptions are made using normal business practices as a guide to potential contamination.

#### 2.0 PROPERTY DESCRIPTION

#### 2.1 LOCATION AND LEGAL DESCRIPTION

The 7100/7150 West 38th Avenue property is located in Wheat Ridge, Jefferson County, Colorado (Figure 1). The property covers approximately 9,827 square feet and is bordered by residential

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housing, commercial real estate, and Wheat Ridge Middle School (Figure 2). The legal description of the property is the northeast quarter of the northeast quarter of Section 26, T. 3 S., R. 69 W. (U.S. Geological Survey (USGS) 1994). The geographic coordinates of the property are 39° 46′ 8.906″ north latitude and 105° 4′ 35.357″ west longitude (USGS 1994).

#### 2.2 PROPERTY AND VICINITY GENERAL CHARACTERISTICS

The 7100/7150 West 38<sup>th</sup> Avenue property currently exists with one building, which was probably built between the 1940s and 1950s, and a vacant asphalt parking lot (WR2020 2009). The last known current use of the property was for the Calvary Temple Christian Church, who had leased the property from the current owner, WR2020, until October 1, 2009 (Photo 16). Although there is a change in elevation on the property, all surface water on the property is diverted and collected into two stormwater drains on the south and east sides of the property or by stormwater drains located on West 38<sup>th</sup> Avenue and High Court. The property is located approximately 1 mile away from Clear Creek. Clear Creek does not pose a threat of flooding to the property (Federal Emergency Management Agency (FEMA) 2009).

The immediate land use within the vicinity consists of residential properties to the south (Photo 23), with mixed use and commercial use to the east, west, and north (Photos 14 and 15). Wheat Ridge Middle School, to the north of the property across West 38<sup>th</sup> Avenue, is on the former site of Wheat Ridge Senior/Junior High School, which was built in 1924. The former school buildings were demolished and Wheat Ridge Middle School was built on the same property in 1995 (WRMS 2009).

#### 2.3 CURRENT USE OF THE PROPERTY

The 7100/7150 West 38<sup>th</sup> Avenue property currently exists with one building, which was thought to have been built between the 1940s and 1950s, and a vacant asphalt parking lot (WR2020 2009) (Photos 16, 17, and 20). The last known current use of the property was for the Calvary Temple Christian Church, who leased the property from the current owner WR2020. ESPRIT Cleaners, a Resource Conservation Recovery Act (RCRA) non-generator, occupied the property until 1996 (Appendix B). From information available, ESPRIT Cleaners apparently did not operate as a dry cleaning facility (Appendices B and C) (Environmental Data Resources, Inc. (EDR) 2009).

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# 2.4 DESCRIPTIONS OF STRUCTURES, ROADS, AND OTHER SITE IMPROVEMENTS

Construction and operation of the building on the 7100/7150 property took place during a time period when lead-based paint, asbestos-containing building materials, and polychlorinated biphenyl (PCB) oils were commonly used in building construction and electrical components. The presence of lead-based paint and asbestos must be confirmed by analysis. Locations of materials likely to contain PCBs have been noted (UOS 2009).

The building is cement brick construction overlain with a painted stucco plaster (Photos 16 and 22). The interior of the building includes one main room that has a floating wooden floor and a ceiling made up of a variety of ceiling tiles, which contain Presumed Asbestos-Containing Material (PACM) (Photos 5, 7, and 12). The rest of the building includes a back room that has a bathroom and an empty drywalled utility room (Photo 2). The whole back room has a painted cement floor (Photo 13). The interior walls in the building are lathe and plastered and windows are glazed (PACM) (Photos 6, 8, 9, 11, and 21). There is a forced air furnace and a water heater on top of the utility room that supplies heat to the building (Photos 2 and 3). There are fluorescent light fixtures in the main room and back room (Photos 1, 4, and 5). The ballast on the fixture did not have information denoting the PCB content, indicating that it likely contains PCB oil; therefore, it must be considered to contain PCBs. All of the painted surfaces in the building are suspect for lead-based paint (Photos 9, 10, 11, and 13) (UOS 2009). The building uses the municipal water and sewer system. A schematic of the building is shown in Figure 3 of this report.

#### 2.5 CURRENT USES OF THE ADJOINING PROPERTIES

Residential housing primarily makes up the property to the south of the 7100/7150 West 38<sup>th</sup> Avenue property (Photo 23) (Figure 2). Adjacent to the east, is A-1 Rental Services, which has a 500-gallon propane aboveground storage tank used to refill customers' barbecue propane tanks. The tank is inspected and certified on a routine basis and has never had any issues (A-1 Rental 2009) (Photo 15). To the west of the property are commercial buildings that are made up of little shops and vacant buildings that are for sale or lease. To the north, is Wheat Ridge Middle School, which in 1995 was built on the site of former school buildings that were built in 1924 (UOS 2009) (WRMS 2009). To the northeast across West 38<sup>th</sup> Avenue is Wheat Ridge Cyclery and commercial retail outlets (Photo 14).

#### 3.0 TBA GRANTEE-PROVIDED INFORMATION

#### 3.1 TITLE RECORDS

The property is currently owned by Wheat Ridge 2020, a community-based non-profit development corporation (WR2020 2009).

#### 3.2 ENVIRONMENTAL LIENS OR ACTIVITY AND USE LIMITATIONS

There are no known environmental liens or activity and use limitations on this property or delinquent property taxes (WR2020 2009).

#### 3.3 SPECIALIZED KNOWLEDGE

No specialized knowledge about potential contamination at the site was provided by the TBA grantee.

#### 3.4 COMMONLY KNOWN OR REASONABLY ASCERTAINABLE INFORMATION

No information was reported concerning past activities or practices at the property that could have resulted in potential issues of contamination (WR2020 2009).

#### 3.5 VALUATION REDUCTION FOR ENVIRONMENTAL ISSUES

There are no known property valuation reduction issues known for this property (WR2020 2009).

## 3.6 OWNER, PROPERTY MANAGER, AND OCCUPANT INFORMATION

No special information was provided by the property owner. The property is currently unoccupied.

#### 3.7 REASON FOR PERFORMING PHASE I

Wheat Ridge 2020 intends to sell the 7100/7150 West 38<sup>th</sup> property to a buyer who wants to use the current building on the property as a bakery and restaurant (WR2020 2009).

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#### 4.0 RECORDS REVIEW

Records reviewed included an Environmental Data Resources, Inc. (EDR) Radius Map with GeoCheck®, a Sanborn Map search, and a Historical Topographic Map report (Appendix C). A complete copy of the federal, state, and local database search results is included as Appendix C.

#### 4.1 STANDARD ENVIRONMENTAL RECORD SOURCES

The following databases were searched for information about the 7100/7150 38<sup>th</sup> Avenue property within the distances listed in Table A.

TABLE A
Search Distances for Databases

Source	Approximate Search Distance (miles)
Federal NPL List	1.0
Federal Delisted NPL site list	1.0
Federal CERCLIS List	0.5
Federal CERCLIS NFRAP site list	0.5
Federal RCRA CORRACTS facilities list	1.0
Federal RCRA non-CORRACTS TSD facilities list	0.5
Federal RCRA generators list	0.25
Federal institutional control/engineering control registries	0.5
Federal ERNS list	property only
State and Tribal landfill and/or solid waste disposal site lists	0.5
State and Tribal leaking storage tank lists	0.5
State and Tribal registered storage tank lists	0.25
State and Tribal voluntary cleanup sites	0.5
State and Tribal Brownfields sites	0.5

NPL

National Priority List

CERCLIS NERAP Comprehensive Environmental Response, Compensation, and Liability Information System

NFRAP RCRA

No Further Remedial Action Planned

CORRACTS

Resource Conservation and Recovery Act Facilities subject to corrective action under RCRA.

TSD

Hazardous Waste Treatment, Storage, or Disposal

**ERNS** 

Emergency Response Notification System

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#### 4.1.1 Federal NPL List

No federal NPL sites are located within one mile of the 7100/7150 West 38th Avenue property.

#### 4.1.2 Federal Delisted NPL Site List

No federal delisted NPL sites are located within one mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.3 Federal CERCLIS List

No federal CERCLIS sites are located within one-half mile of 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.4 Federal CERCLIS NFRAP Site List

No federal CERCLIS NFRAP sites are located within one-half mile of 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.5 Federal RCRA CORRACTS Facilities List

No federal RCRA CORRACTS facilities are located within one mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.6 Federal RCRA non-CORRACTS TSD Facilities List

No federal RCRA non-CORRACTS TSD facilities are located within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.7 Federal RCRA Generators List

No federal RCRA Generator sites are located within one-quarter mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

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## 4.1.8 Federal Institutional Control/Engineering Control Registries

No federal institutional control/engineering control registries were identified within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.9 Federal ERNS List

No federal ERNS sites were identified on the 7100/7150 West 38th Avenue property.

## 4.1.10 State and Tribal Landfill and/or Solid Waste Disposal Site Lists

No State and Tribal Landfill and/or Solid Waste Disposal sites are located within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

## 4.1.11 State and Tribal Leaking Storage Tank Lists

Ten Leaking Underground Storage Tanks (LUST) including five LUSTs in Colorado's Petroleum Storage Tank Fund (LUST TRUST) were identified within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### **LUSTs:**

- Bradley Oil #5 7403 West 38th Avenue
- Bradley Food Mart 7403 West 38<sup>th</sup> Avenue
- Midas Muffler 3805 Wadsworth Boulevard
- Texaco 3790 Wadsworth Boulevard
- Conoco 3790 Wadsworth Boulevard
- Friendly Ford Inc. 3765 Wadsworth Boulevard
- Amoco 3900 Wadsworth Boulevard
- Bradley #22 6875 West 38th Avenue
- S&R Automotive 6695 West 38th Avenue
- Auto Truck & RV Repair 7200 West 44<sup>th</sup> Avenue

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#### **LUST TRUSTs:**

- Bradley Food Mart 7403 West 38<sup>th</sup> Avenue
- Texaco 3790 Wadsworth Boulevard
- Conoco 3790 Wadsworth Boulevard
- Bradley #22 6875 West 38th Avenue
- S&R Automotive 6695 West 38<sup>th</sup> Avenue

Nine of the LUSTs identified by the EDR Radius Map with GeoCheck® are not likely of concern to the 7100/7150 West 38th Avenue property due to the LUSTs being down gradient from the 7100/7150 West 38th Avenue property. Groundwater flow direction in the area flows to the northeast towards Clear Creek thus any groundwater contamination from any of these nine LUSTs would likely miss the property (Appendix C). The non-down gradient LUST (3765 Wadsworth Blvd.) was emplaced in the Denver Formation and Arapahoe Formation which underlie the Clear Creek alluvium (Robson and Banta 1985). The Denver Formation and Arapahoe Formation have low hydraulic conductivities relative to the clear creek alluvium. Therefore hydrogeologic influences and potential groundwater contamination affecting the property from the LUST (3765 Wadsworth Blvd.) is not probable due to its occurrence in these less transmissive formations.

#### 4.1.12 State and Tribal Registered Storage Tank Lists

Five Underground Storage Tanks (UST) and one Aboveground Storage Tank (AST) are located within a one-quarter mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.13 State and Tribal Voluntary Cleanup Sites

There are no State or Tribal Voluntary Cleanup sites located within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.1.14 State and Tribal Brownfields Sites

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There are no State or Tribal Brownfield sites within one-half mile of the 7100/7150 West 38<sup>th</sup> Avenue property.

#### 4.2 PHYSICAL SETTING INFORMATION SOURCES

#### 4.2.1 Topographic Characteristics

The 7100/7150 West 38<sup>th</sup> Avenue property slopes gently to the north towards West 38<sup>th</sup> Avenue and consists primarily of an asphalt parking lot that has two stormwater drains and a building that was built between 1940 and 1950, that most recently was used as a church (Photo 18 and 19) (Figure 2). The elevation of the property is approximately 5,437 above sea level (Appendix C). The climate in the Wheat Ridge, Colorado, area is semiarid. The mean annual precipitation as totaled from the University of Delaware (UD) database is 15 inches. The net annual precipitation as calculated from precipitation and evapotranspiration data obtained from the UD database is 0.83 (University of Delaware 1986). The 2-year, 24-hour rainfall event for the site area is approximately 1.5 inches (Dunne, Thomas, and Luna B. Leopold 1978).

#### 4.2.2 Geology

The 7100/7150 West 38<sup>th</sup> Avenue property is located in the Colorado Piedmont section of the Great Plains physiographic province (Trimble 1980). The property overlies the Denver Basin and the surficial geological features are the Denver Formation and Arapahoe Formation. The Denver Formation is approximately 600 to 1,100 feet thick and consists of moderately consolidated, interbedded shale, claystone, siltstone, and sandstone, in which coal and fossilized plant remains are common (Robson and Banta 1985). The Arapahoe Formation consists of a 400 to 700-foot-thick sequence of interbedded conglomerate, sandstone, siltstone, and shale (Robson and Banta 1985)

The main soil type on and around the property is the Nunn-Urban land complex (USDA 1980). Nunn soils are deep and well-drained, and formed in calcareous, clayey material derived from mudstone and shale. Permeability is slow with a high water capacity (Bureau Veritas (BV) 2007).

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The property is covered by an asphalt parking lot with a building structure and two stormwater drains. Since the property is impermeable, surface water flows rapidly off the property to the north east toward Clear Creek or to the two stormwater drains located on the property (Figure 2).

#### 4.2.3 Hydrogeology

The Denver Basin is composed of aquifers, or water bearing formations, that lie one on top of the other in layers. Between the layered aquifers, there is a confining layer. This confining layer isolates the individual aquifers from each other. There is groundwater in the aquifers underlying the land in the Denver Basin. The groundwater was deposited millions of years ago when the Denver Basin was formed. Because of the nature of the confining layers and because of the limited connection between these aquifers and surface water, the groundwater in the aquifers is not renewable. When the groundwater is used, it is being mined or used up without any replacement (Colorado Division of Water Resources (CDWR)2009). Groundwater in the Denver Basin is found in four sequential aquifers: the Dawson Aquifer (0 to 600 feet in depth), the Denver Aquifer (0 to 800 feet in depth), the Arapahoe Aquifer (0 to 400 feet in depth), and the Laramie-Fox Hills Aquifer (0 to 300 feet in depth) (Robson 1987).

#### 4.2.4 Hydrology

The 7100/7150 West 38th Avenue property topography, based off the declining slope in elevation to the northeast, shows that surface water flows northeast to Clear Creek, which is approximately one mile north of the property. The property is covered by an asphalt parking lot with a building structure and two stormwater drains. The property is impermeable, thus surface water flows rapidly off the property to the northeast toward Clear Creek or to the two stormwater drains located on the property (Figure 2).

#### 4.3 HISTORICAL USE INFORMATION ON THE PROPERTY

The current building on the property was thought to have been built between 1940 and the 1950s. ESPRIT Cleaners, a RCRA non-generator, used the property in 1994 (EDR 2009) (Appendix C).

A Sanborn map search was performed by EDR for the 7100/7150 West 38th Avenue property. One fire insurance map was found dating 1967. The fire insurance map shows a building on the west side

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of the current building that was used as a store on the property; presently this building is an asphalt paved parking lot. The building currently on the property was also used as a store in 1967 (Appendix C). A records search with the city of Wheat Ridge's Development and Zoning department discovered building permits for the building located on the 7150 West 38th Avenue property. The building permits dated February 22, 1972. The building permit description noted "repair for fire damage and general remodeling'. The property was owned by Dee J. Byrnes who utilized the property for his business, J. D. Industrial Insulation Inc.. A detailed building sketch is shown in Appendix B. A records search with the Jefferson County Planning and Zoning Division was not able to come up

with any better information for the property within this time period.

4.4 HISTORICAL USE INFORMATION ON ADJOINING PROPERTIES

The city of Wheat Ridge was founded as a community in 1859. It was a farming community that supported Denver and nearby mining communities, and became the largest producer of carnations worldwide until the mid-20th century. Wheat Ridge did not incorporate until August 1969, when it

was faced with annexation by surrounding cities (Wikipedia 2009).

A Sanborn map search was performed by EDR for the 7100/7150 West 38th Avenue property. One fire insurance map was found dating 1967. The fire insurance map shows an apartment building complex south of the property. North of the property across West 38th Avenue is Wheat Ridge Middle School on the former site of Wheat Ridge Senior/Junior High School, which was built in 1924, and a dry cleaner and commercial stores; east of the property were commercial stores and a paint shop; west

of the property were commercial stores (glazing store, and a wholesale rug store) (Appendix C).

5.0 PROPERTY RECONNAISSANCE METHODOLOGY AND LIMITING CONDITIONS

The property reconnaissance was conducted by environmental professionals Jeremiah Ervin and John West (START) on October 6, 2009, and is documented in the project log book (URS Operating Services, inc. (UOS) 2009). The weather was sunny with partly overcast blue skies. The temperature ranged in the mid 50s during the reconnaissance; therefore, there were satisfactory conditions for inspection of the soil surface for staining and other signs of surface contamination.

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Photo documentation is presented in Appendix A. The information that was gathered has been incorporated

into the appropriate sections and referenced accordingly.

6.0 INTERVIEWS

Interviews were conducted with Chuck Redig, the owner of A-1 Rental, which is across the street from the

subject property, and with Denise Balkas who is the Director of Real Estate for Wheat Ridge 2020, the owner

of the property. The interviews conducted for this property have been incorporated into the appropriate

sections and referenced accordingly throughout this report.

7.0 **FINDINGS** 

Environmental conditions that could pose a threat to human health or the environment were identified during

this investigation. The areas of concern are as follows:

1. The building was constructed some time between 1940 to 1970, a period that saw widespread use of

asbestos in building materials. During the reconnaissance START observed construction materials

that are presumed asbestos-containing materials including, but not limited to, ceiling tiles, drywall,

lathe and plaster, and window glazing.

The building was constructed and operated during the period prior to the 1978 lead-based paint ban, a

period that saw widespread use of lead-based paint on buildings. During the site visit START

observed white and yellow tinted paint that commonly indicates that lead-based paint is present in the

building.

3. Fluorescent light ballasts are present in the building on the property. Given that the ballasts are not

marked to indicate that they are PCB-free it is probable that they contain PCB-containing oils.

8.0 **OPINION** 

Based on the observations from the reconnaissance, the building on the property may present a hazard to

human health due to asbestos-containing building materials, lead-based paint, and PCB-containing oils. These

hazards are especially relevant if demolition or renovation activities take place on the property.

TDD No. 0909-08 -

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Date: 11/2009 Page 14 of 21

9.0 <u>CONCLUSIONS</u>

START has performed a Phase I Environmental Site Assessment in conformance with the scope and

limitations of ASTM Practice E 1527 of the 7100/7150 West 38th Avenue property in Wheat Ridge, Jefferson

County, Colorado. Exceptions to, or deletions from, this practice are described in Section 9.0, Deviations, of

this report. This assessment has revealed the following recognized environmental conditions in connection

with the property:

1. Presumed asbestos-containing materials (PACM) were observed in the building. The materials in

question have not been tested to confirm if they contain asbestos. If the materials do contain asbestos,

they must be properly managed and/or disposed. PACM may present a significant hazard to the health

of on-site workers participating in demolition or renovation activities. Discovery of asbestos in the

building may subject employers to Occupational Safety and Health Administration (OSHA)

regulations regarding working in an environment containing asbestos.

2. Possible lead-based paint was observed in the building. The paints in question have not been tested to

confirm if they contain lead. If the materials contain lead, they must be properly managed and/or

disposed. Lead-based paint may present a significant hazard to the health of workers participating in

demolition or renovation activities.

3. The fluorescent light ballasts on property may contain PCBs and must be disposed of properly.

TDD No. 0909-08

Revision: 0 Date: 11/2009 Page 15 of 21

Recommendations for Phase II activities based on the above-listed conditions are detailed in Table B below.

TABLE B
Recommendations for Phase II Activities for Each Recognized Environmental Condition

Recognized Environmental Condition	Recommendation
Possible Asbestos- Containing Material	Building materials must be evaluated for asbestos content, and managed or disposed of properly.
Lead-Based Paint	Painted surfaces must be evaluated for lead content, and managed or disposed of properly.
PCBs	If the fluorescent light ballasts should fail, appropriate arrangements should be made to dispose of the ballasts properly. The EPA suggests arrangements for disposal to be made by PCB transporters or PCB commercial stores for shipment of ballast, PCB-soiled items, or fluorescent fixtures containing PCBs to an EPA-approved chemical waste processing site (EPA 2009).

#### 10.0 <u>DEVIATIONS</u>

No deviations occurred during this Phase I Environmental Site Assessment.

## 11.0 <u>ADDITIONAL SERVICES</u>

No additional services were conducted as a part of this Phase I Environmental site Assessment.

Revision: 0 Date: 11/2009

Page 16 of 21

12.0 <u>LIST OF REFERENCES</u>

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TDD No. 0909-08

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Date: 11/2009

Page 17 of 21

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11/10/2009

Date: 11/2009 Page 18 of 21

13.0 ENVIRONMENTAL PROFESSIONAL'S QUALIFICATIONS, STATEMENT,

AND SIGNATURE

This work was conducted by an environmental professional as specified in Section 7.5.1 of E 1527-05 and

defined pursuant to 40 CFR.10 (ASTM 2005).

Jeremiah Ervin has a Baccalaureate or higher degree from an accredited institution of higher education in a

discipline of engineering or science and the equivalent of five (5) years of full-time relevant experience such

as participation in the performance of all appropriate inquiries investigations, environmental site assessments or

other site investigations including environmental analyses, investigations, and remediation, which involve the

understanding of surface and subsurface environmental conditions and the processes used to evaluate these

conditions and for which professional judgment was used to develop opinions regarding conditions indicative

of releases or threatened releases (see •312.1(c)) to the subject property. Jeremiah Ervin remains current in his

field through participation in continuing education or other activities.

I declare that, to the best of my professional knowledge and belief, I meet the definition of environmental

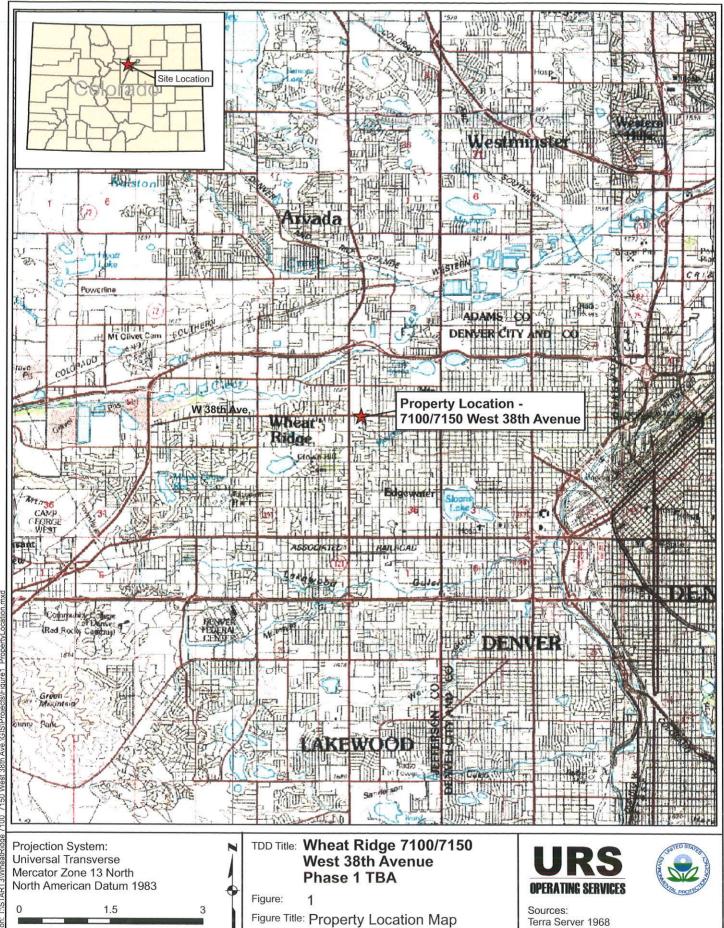
professional as defined in \$312.10 of 40 CFR 312. I have the specific qualifications based on education,

training, and experience to assess a property of the nature, history, and setting of the subject property. I have

developed and performed all appropriate inquiry in conformance with the standards and practices set forth in

40 CFR Part 312.

Jeremiah Ervin, Environmental Scientist



TDD County: JEFFERSON

TDD State: CO

Terra Server 1968

0909-08

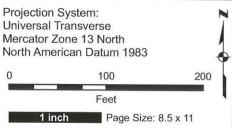
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TDD Title: Wheat Ridge 7100/7150
West 38th Avenue
Phase 1 TBA

Figure: 2

Figure Title: Property Details Map

TDD County: JEFFERSON TDD: 0909-08
TDD State: CO Date: 11/2009





Sources: City of Wheat Ridge GIS 2008

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TDD State: CO

Date: 11/2009

# APPENDIX A

**Project Photolog** 



**PHOTO 1**View of PACM sprayed-on ceiling material.

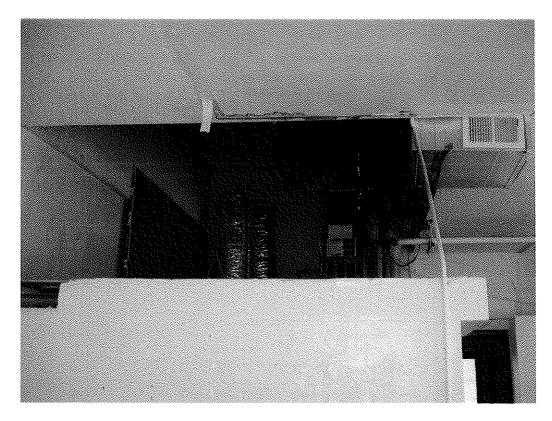


PHOTO 2
Looking at HVAC area and fiberglass insulation above the utility room.



**PHOTO 3** View of HVAC piping with no insulation.



PHOTO 4
Fluorescent lighting with potential PCB ballast.



# PHOTO 6 View of glaze on windows in the main room.



PHOTO 7 Landscape view of the main area in the main room.

PHOTO 8

John West (START) pointing to patching on the south main wall.



**PHOTO 9**View of PACM surface texture.



PHOTO 10 Suspected lead-based paint with cracks near the storage room below the HVAC.

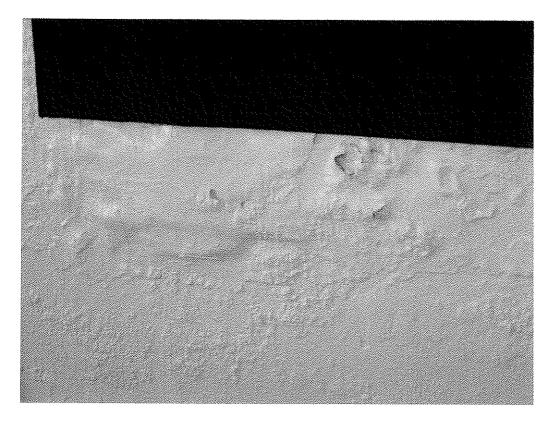


PHOTO 11
Patch work on the south window.

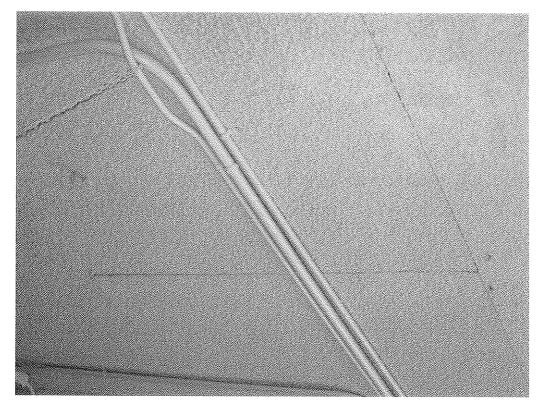


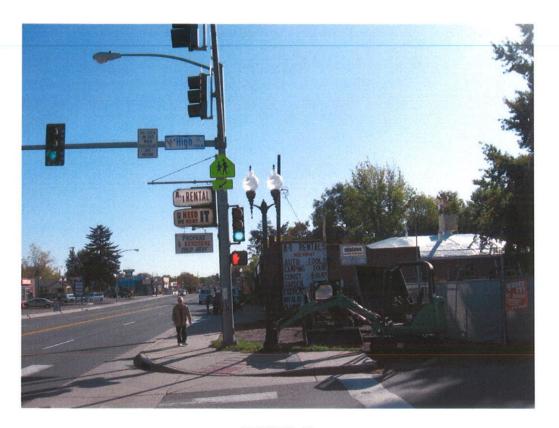
PHOTO 12
View of PACM sprayed-on ceiling material.



PHOTO 13
Suspected lead-based paint on the floor in the back room.



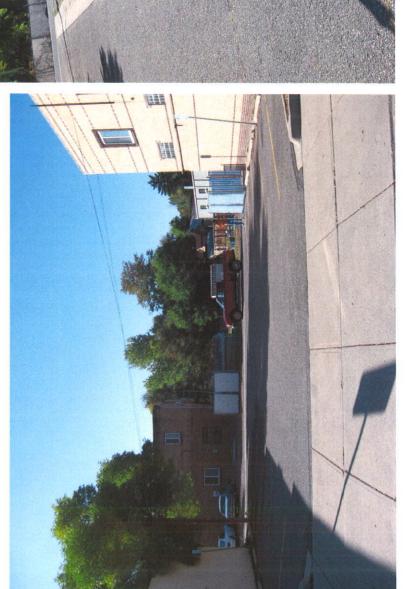
PHOTO 14
Wheat Ridge Cyclery northeast of the 7100/7150 West 38<sup>th</sup> Avenue property.



 ${\bf PHOTO~15} \\ {\rm A1~Rental~Service~across~the~street~to~the~east~of~the~property~at~7100/7150~West~38^{th}~Avenue.}$ 



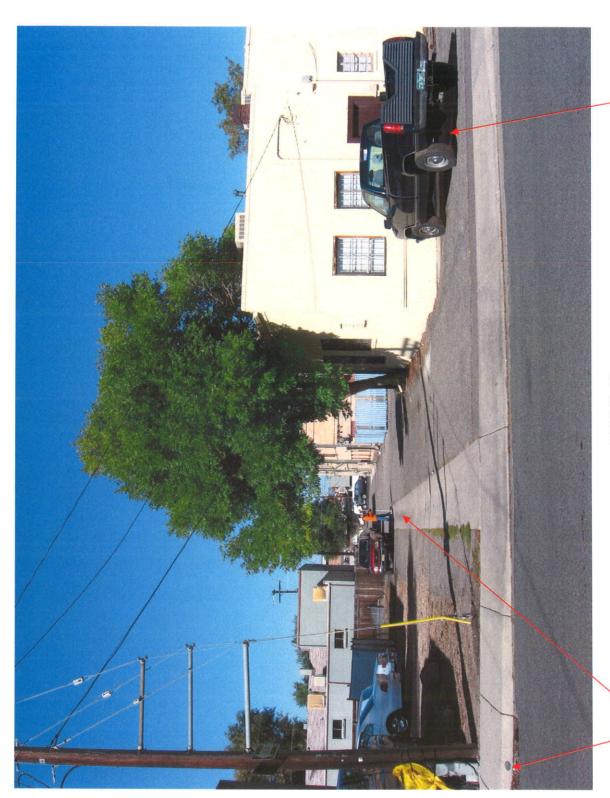
**PHOTO 16**View of the front of the building at 7100 West 38<sup>th</sup> Avenue that was leased to Calvary Temple Christian Church.



View to the south of a parking area at 7150 West 38th Avenue. PHOTO 17



John West (START) getting the GPS coordinates of a surface water drain in the alleyway directly south of the property. Photo looking west. **PHOTO 18** 



View to the west down the alleyway with 7100/7150 West  $38^{th}$  Avenue properties in view. Stormwater Drain(under the pickup truck).

Stormwater Drains



**PHOTO 20**View of 7150 West 38<sup>th</sup> Avenue from the alley looking north toward West 38<sup>th</sup> Avenue.

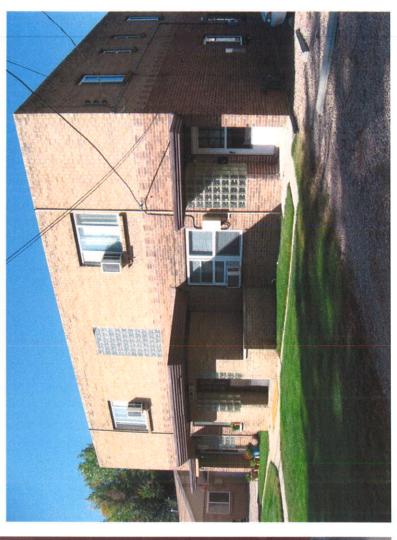


PHOTO 21
PACM window glazing on the windows of the building at 7100 West 38<sup>th</sup> Avenue.



# **PHOTO 22**

Suspected lead-based paint is on the outside of the building at 7100 West  $38^{\rm th}$  Ave. John West (START) is using the GPS at the corner of the building.



# **PHOTO 23**

View of 3785 High Court, residential housing, across the alley View of 3785 High Court, residential housing, across the alley

# APPENDIX B

City of Wheat Ridge Community Development Department Building Permits

# COMMUNITY DEVELOPMENT DEPARTMENT BURNING FORMENING BUILDING INSPECTION LINE - 303-234-5933

Date: 1/30/03

7500 WEST 29TH AVENUE WHEAT RIDGE, CO 80215 - (303-235-2855)

		38TH AVE. PARTNERSHIF	>	Phone: 748-5725	<b>;</b>
• • • • • • • • • • • • • • • • • • • •		CONSTRUCTION		Phone: 748-5725	<b>.</b>
OWNER/CONTRACTOR SIGN	IATURE OF	UNDERSTANDING AND AG	REEMENT [	Construction Value :	
I hereby certify that the setback di	stances propo	osed by this permit application are	accurate, and	Permit Fee :	
do not violate applicable ordinance covenants, easements or restriction	ns of record:	that all measurements shown, an	d allegations	Plan Review Fee:	\$0.00
made are accurate; that I have rea application, and that I assume full	d and agree : responsibility	to abide by all conditions printed of for compliance with the Wheat Ri	n this dge Building	Use Tax:	\$0.00
Code (U.B.C.) and all other applica	able Wheat R	idge ordinances, for work under ti	als permit.	Total:	\$0.00
(OWNER)(CONTRACTOR) SIGN	ED	DATE	l	Use:	·-···
Description: DOMPS	TER ENCL				
		BUILDING DEPARTME	NT USE ONL	.Y SIC: Sq. Ft.:	
Approval : MP Zoning : C-1		OK. PROVIDED NO	PARKING S	•	
Approval: BG		1/30/03			
Parate Works Commen Approval :					
Occupancy:	Walls:	Roof:	Stories:	Residential Units:	
Electrical License No :		Plumbing License No :		Mechanical License No:	
Company:		Company :		Company:	
Expiration Date:		Expiration Date :		Expiration Date :	
Approval:		Approval:		Approval:	

(1)

This permit was issued in accordance with the provisions set forth in yopur application and is subject to the taws of the State of Colorade and to the Zening Regulations and Building Code of Wheat Ridge, Colorade or any other applicable ordinances of the City.

This permit shall expire if (A) the work authorized is not commenced within sixty (60) days from issue date or (B) the building authorized is suspended or abandoned for a period of 120 days. If this permit expires, a new permit may be acquired for a fee of one-half the amount normally required, provided no changes have been or will be made in the original plans and specifications and any suspension or abandonment has not exceeded one (1) year. If changes are made or if suspension or abandonment exceeds one (1) year, full fees shall be paid for a new permit.

No work of any manner shall be done that will change the natural flow of water causing a drainage problem.

Contractor shall notify the Building Inspector twenty-four (24) hours in advance for all inspections and shall receive written approval on inspection card before proceeding with successive phases of the job.

The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the building codes or any other ordinance, law, rule or regulation. (3)

Chief Building Inspector

# COMMUNITY DEVELOPMENT DEPARTMENT BUILDING INSPECTION LINE - 303-234-5933 CITY OF WHEAT RIDGE

7500 WEST 29TH AVENUE

WHEAT RIDGE, CO 80215 - (303-235-2855) APPLICATION Property Owner: West 38th Avenue Partnershy Property Address: 7/00 W. 38th Avenue, Wheat Ridge, Co Phono: 303-748-5725 Contractor Liceuse No.: 19805 Company: KSD Constructi Phone: 303-748-5725 owner-contractor eignature of understanding and agreement Ihereby certify that the setheck distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of What Ridge or covenants, essentents or restrictions of record; that all measurements shows, and allogations made are accurate; that I have read and agree to abide by all conditions printed on this application and that I assume full responsibility ful compliance with the Wheat Ridge Building Code (U.B.C) and all other applicable Wheat Ridge Ordinances, for work under this permit. Construction Value;\$ Permit Fee:\$ Plan Review Fee:\$ Use Tax:\$ Total:\$ (OWNER) CONTRACTOR; SIGNED CHECK DESCRIPTION: trash dempoter enclosure BUILDING DEPARTMENT USE ONLY SIC: Approval: OK NP 1/30/03 Sq.Ft.: ZONING COMMENTS: Provided no parking stalls are lost. Zoning: C-1 BUILDING COMMENTS: Approval: 1/3d03 BC PUBLIC WORKS COMMENTS: Approval: Occupancy: Walls: Roof Stories: Residential Units: Plumbing License No: Mechanical License No: Company: Company: Company: Expiration Date: Expiration Date: Expiration Date:

Bloctrical License No:

Approval:

(1)

Approval:

Approval:

Building Permit Number:

- Date:

(2) (3)

This permit was invect in accordance with the provisions set forth in your application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Codes of Wheat Ridge, Colorado or any other applicable ordinances of the City.

This permit stall supply If (A) the work authorized is not common ord within story (60) days from issue date or (B) the building substrated is respected or sheadoned for a period of 120 days. If this permit explose, a two permit way be acquired for a five of one-half the amount normally required, provided no changes have been or will be made in the original plans and specifications and any surpension or sheadonerest have not consected one (1) year. If changes have been or if surpension or sheadonerest one (1) year, built for a shall be does four will change the natural flow of water souring a drainage problem.

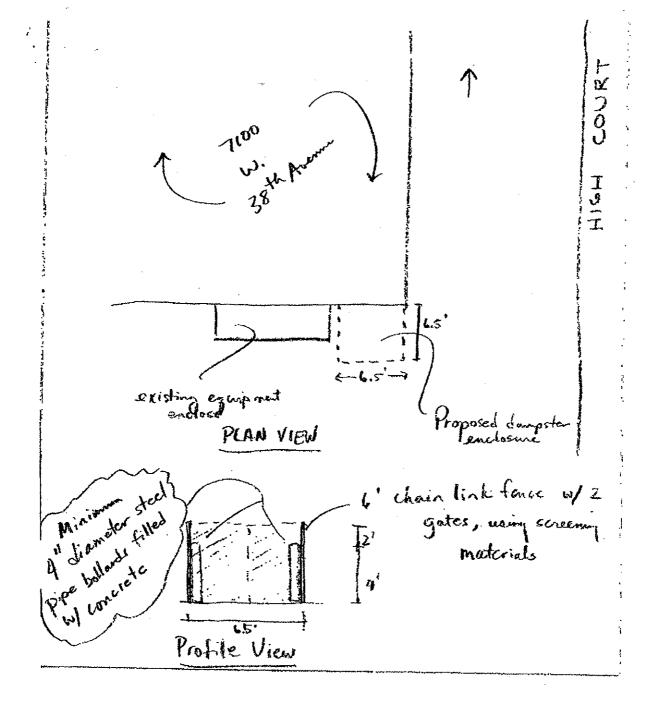
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The insumes of a present or the approved of drawings and specifications shall not be construed to be a permit for, nor an approved of, say violation of the provisions of the building codes or any other confinence, law, rule or regulation.

Chief Building Inspector



KSD Construction, LLC 3866 Union Court Wheat Ridge, Colorado 80033 303-748-5725

# **FAX TRANSMISSION**

To: Cind	ly Hogerman	Date: 1/29/03	Time: 9:35 (am/pm
Fax Numb	er: <u>(303.) 23<i>5-</i> 2857.</u>	No. of Pages: 3	Please confirm: Yes
From:	Dan Schneider	Return Fax No. (303)-4	<u>56-7683</u>
Remarks:	Cinda		
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		· · · · · · · · · · · · · · · · · · ·	Danschneider
			303-748-5725

This message is intended for the use of the individual or entity to which it is addressed, and may contain information that is **PRIVILEGED** and **CONFIDENTIAL**. If you are not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient and have received this information in error, you are hereby notified that dissemination, distribution or copying of the information is prohibited. Please call us at once and return the original message to us at the address at the top of this page via the U. S. Postal Service. Thank you.



CITY OF WHEAT RIDGE 7500 West 29th Avenue Wheat Ridge, CO 80215 Phone 235-2861

## RIGHT OF WAY PERMIT

# Wheat Ridge Code of Laws Section 21-101

Permission is hereby granted to: MARY ANN HEUTON DBA ESPRIT CLEANERS Permittee's address: 7/00 W.38th Avenue What Ridge CO 80033

Permittee's phone No.: 303-424-2757

To place a structure or intrusion on City of Wheat Ridge right of way as indicated below:

Briefly list reasons for encroachment:
To Accommodate Dumpster and Shelter for Dumpster
To Accommodate Dimpressor and Shelter for Compressor

City Engineer's comments:

The undersigned, by his signature, acknowledges that he is: An authorized representative of the permittee; that the permittee is familiar with and agrees to comply with current regulations of the City of Wheat Ridge applicable to the permit granted herewith; that any gross misrepresentations or false statements appearing herein shall automatically cause this permit to be null and void in its entirety; and he hereby releases the City of Wheat Ridge from any liability which may arise from the issuance of the right of way encroachment permitted hereon.

The term of this Right of Way Permit is:

Date of Issue: 7-18-96

Expiration Date: 7-18-99

The term of a Right of Way Permit shall be in accordance with section 21-102 of the City of Wheat Ridge Code of Laws. The City may, with 90 days written notice, terminate this permit. The Permittee herein agrees the City shall not be held liable for any costs incurred by the Permittee resulting from such termination:

city Engineer

7/18/96 Date

Permittee

Date

DEPARTMENT OF PLANNING AND DEVELOPMENT Building Permit Number 3824 BUILDING INSPECTION DIVISION - 235-2855

CITY OF WHEAT RIDGE 7500 WEST 29TH AVENUE WHEAT RIDGE, CO 80215

Date: 9/11/96

Property Owner:

Property Address: 7100 38TH AV

Contractor License No.: 17999

Company: Neighborhood Electric

Phone:

Phone: 274 9971

### OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate, and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown, and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application, and that I assume full responsibility for compliance with the Wheat Ridge Building Code (U.B.C.) and all other applicable Wheat Ridge promances, for work under this permit.

(OWNER)(CONTRACTOR) SIGNED House

Construction Value: \$200.00 \$25.00 Permit Fee: Plan Review Fee: \$0.00 \$2.40 Use Tax: Total: \$27,40

Sq. Ft.:

Description:

HOOKUP AIR COMPRESSOR

Senting to Senting on the

Approval: Zoning:

Approval:

PHOLOGO COMMONIST

Approval:

Occupancy:

Walls:

Roof:

Stories:

Residential Units:

Electrical License No:

Plumbing License No:

Mechanical License No:

Company:

Company:

Company:

**Expiration Date:** Approval:

Expiration Date:

Expiration Date:

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PRINCE OF THE PRINCE

Elimeterment

- (2)
- This permit was issued in accordance with the provisions set forth in yopur application and is subject to the laws of the State of Colorado and to the Zoning Regulations and Building Code of Wheat Ridge, Colorado or any other applicable ordinances of the City.

  This permit shall expire if (A) the work authorized is not commenced within sbdy (60) days from issue date or (B) the building authorized is suspended or abandoned for a period of 120 days.

  If this permit expires, a new permit may be acquired for a fee of one-half the amount normally required, provided no changes have been or will be made in the original plans and specifications and any suspension or abandonment has not exceeded one (1) year, if changes are made or if suspension or abandonment exceeded one (1) year, full fees shall be paid for a new permit.

  No work of any manner shall be done that will change the natural flow of water causing a drainage problem.

  No work of any manner shall be done that will change the natural flow of water causing a drainage problem.

  No work of any manner shall be building inspector twenty-four (24) hours in advance for all inspections and shall receive written approval on inspection card before proceeding with successive phases of the job.

  The issuance of a permit or the approval of drawings and specifications shall not be construed to be a permit for, nor an approval of, any violation of the provisions of the builting godes or any other ordinance, law, rule or regulation. (3)

elin GC Chief Building Inspector

THE PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND MAYOR CALL: 234-5933 24 HOURS PRIOR TO INSPECTION

# DEPARTMENT OF PLANNING AND DEVELOPMENT BUILDING INSPECTION DIVISION - 235-2855 CITY OF WHEAT RIDGE 7500 WEST 29TH AVENUE WHEAT RIDGE, CO 80215 Building Permit Number: Date:

 $\lambda_{\xi_1}$ 

Property Owner: ESP Property Address: 716 Contractor License No.: /7 Company: No.	30 m. 3840 Mod	Phone: 274-997/
OWNER/CONTRACTOR SIGNATURE OF It hereby certify that the setback distances proposed do not violate applicable ordinances, rules or covenants, easements or restrictions of record; it made are accurate; that I have read and agree to application, and that I assume full responsibility if Code (U.B.C.) and all other applicable Wheat Rich (OWNER) CONTRACTOR) SIGNED (OWNER) CO	sed by this permit application are accurate, regulations of the City of Wheat Ridge or nat all measurements shown, and allegations abide by all conditions printed on this or compliance with the Wheat Ridge Building Ige ordinances, for work under this permit.  DATE 71476	Construction Value: 200.00 Permit Fee: Plan Review Fee: Use Tax: Total:
· · · · · · · · · · · · · · · · · · ·	BUILDING DEPARTMENT USE ONL	Υ '''
Zoning Comments:  Approval: Zoning: Building Comments: Approval: Publicavorks comments: Approval: Occupancy: Walls:	Roof: Stories:	SIC: Sq. Ft. :  Residential Units:
Electrical License No: 17999 Company: METSABOLHOOD METTE	Plumbing License No : Company : Expiration Date :	Mechanical License No : Company : Expiration Date :
Approval:	Approval:	Approval:
Relans Required	Plans Required	E ESTATS REQUIRE CENT
original plans and specifications and any susp exceeds one (1) year, full fees shall be paid to	provisions set forth in yopur application and is subject to e. Colorado or any other application and is subject to e. Colorado or any other application and in subject to edit s not commenced within sidy (60) days from issue it quired for a fee of one-half the amount normally required ension or abandonment has not exceeded one (1) year, a new permit, change the natural flow of water causing a drainage proventy-four (24) hours in advance for all inspections and awings and specifications shalf not be construed to be a aw, rule or regulation.  For Mayor	of the laws of the State of Colorado and to the Zoning y.  Jate or (B) the building authorized is suspended or provided no changes have been or will be made in the if changes are made or if suspension or abandomment often. Shall receive written approval on inspection card before permit for, nor an approval of, any violation of the provisions

THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND MAYOR CALL: 234-5933 24 HOURS PRIOR TO INSPECTION

7500 WEST 29th AVENUE 234-5933 P.O. BOX 638

## DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

PERMIT NO. ME94#5742

THIS PERMIT	T VALID ONLY WHEN SIGNED BY				W.	
JOB ADDRESS	: 7100 W38th	APPLICATION FOR MI	SCELLANEOU _   OWNER	£3 c	ET CHANGES	a more
CONTRACTOR		EUZTRIC.	_ ADDRESS	=3.00		*****
	3585 MARSHAU	ST.		424-		ZIP CODE 80033
		CODE 80033	- 1	T PRICE \$	200.00	ZIF CODE SEELEME
PHONE		ENSE NO. 3528-	DATE	4	13/94	
1	1. TYPE Ground	Walt 🗆	Projecting	Other		
	2. MATERIAL	Manto	Protecting L		uare Feet	
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ያላ	July	Date Issued	7/94			IS IN ADVANCE NSPECTIONS
Applicants Sign	ature	Duie 1330EU //	///			* * * *

7500 WEST 29th AVENUE 234-5933 P.O. BOX 638

# DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

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REMARKS

W.R. FORM 8-19

# DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

PERMIT NO. M93#19031

7500 WEST 29th AVENUE 234-5933 P.O. BOX 638 THIS PERMIT VALID ONLY WHEN SIGNED BY THE CHIEF BUILDING INSPECTOR AND RECEIPTED BELOW. 7 APPLICATION FOR MISCELLANEOUS PERMIT 7100 W 3 OWNER DAN JOB ADDRESS ADDRESS 2562 CONTRACTOR Darrell 6883 ZIP CODE 802/2 12luqPHONE 2.33-ZIP CODE \$0003 CITY Gruades PHONE 428-LICENSE NO. 16830 DATE Wall Projecting (Sor O Fo Total Square Feet. 2 MATERIAL Yes - No SIGNS Flect Permit No. 3. KLUMINATION N.JOH S 4. SET BACK FROM PROPERTY LINE Approved, Zone Inspector (Specify which is front) Disapproved More Than 80% Open Less Than 80% Ope 2. MATERIAL FENCES Approved, Zone Inspector 3. SET BACK FROM PROPERTY LINE П П (Specify which is front) Disopproved OTHER DRAW SKETCH OR SHOW BELOW, THE FENCE, SIGN, OR OTHER STRUCTURE, GIVING DISTANCES FROM PROPERTY LINES. (SETBACKS OR PROJECTIONS INCLUDED) 5 REAR PROPERTY LINE SPECIFY NORTH FRONT PROPERTY LINE 13 38 STREET NAME. SHOW DISTANCES FROM THE MAIN BUILDING TO ADJOINING HOUSES, STREETS, AND PROPERTY LINES; ON IRREGULAR LOTS, SHOW LEAST DISTANCE TO PROPERTY LINES, NOT MAXIMUM OR AVERAGE DISTANCE. APPLICATION FOR PLUMBING; ELECTRICAL; MECHANICAL PERMIT THIS APPLICATION WILL BECOME A PERMIT TO PERFORM THE INDICATED WORK ONLY UPON VALIDATION BY THE BUILDING INSPECTION DIVISION, PERMIT WILL EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE IF WORK IS NOT STARTED WITHIN THAT TIME. PLUMBING PERMIT MECHANICAL PERMIT ELECTRICAL PERMIT STATE LICENSE NO STATE LICENSE NO. BSMT IST 2ND 3RD 4TH NO. PLEL Circle One Gos ON Propone Coal Elec Solo FLOOR ALLIMINUM WIRE UNDER SIZE B ILLEGAL FORCED AIR DTU WATER CLOSE T HOT WATER 8TU TEMPORARY METER WASH BOWL NEW SERVICE .- AMPS CHANGE SERVICE -AMPS BATH TUB STEAM ATU AIR CONDITIONING-BTU SHOWER LIGHTING SINK REFRIGERATION SYSTEM HEATING GARBAGE DISP. POWER SUB-CIRCUITS WATER HEATER Retrigerant Group Pounds Charge UTILITY (RANGE, DISPOSER, ETC.) AUTO, WASHER AUTOMATIC SPRINKLER SYSTEM DISH WASHER FIXTURES ELEVATOR WIRING MOTORS & CONTROLS FLOOR DRAIN URINAL SICNS TRANSFORMERS & RECTFIERS SEWERS ADDITION TO OLD WORK OTHER TOTAL FIXTURES MOTORS OVER THP REMARKS... NOT VALID UM ESS RECEIPTED PERMIT FEE I hereby ecknowledge that this application is correct and understand that i USE TAX cannot start this project until this oppli-10-15-93 cation is approved. I shall comply with TOTAL FEE the laws of the State of Colorada and to ULK 2734 the Zoning Regulations and Building nevelach Code of the City of Wheat Ridge. Any CHIEF BUILDING INSPECTOR, City of Wheat Ridge violation of the above terms will cause immediate revocation of this permit CALL 234-5933 24 HOURS IN ADVANCE 10-15-93 FOR INSPECTIONS **Date Issued** 

7500 WEST 29th AVENUE 234-5933 P.O. BOX 638

### DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

PERMIT NO. ME93#5564

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/ CHANGE SERVICE - AMPS 100 A	BATH TUB						HOT WATER - BTU STEAM - BTU AIR CONDITIONING-BTU
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7500 WEST 29th AVENUE

### DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE COLO

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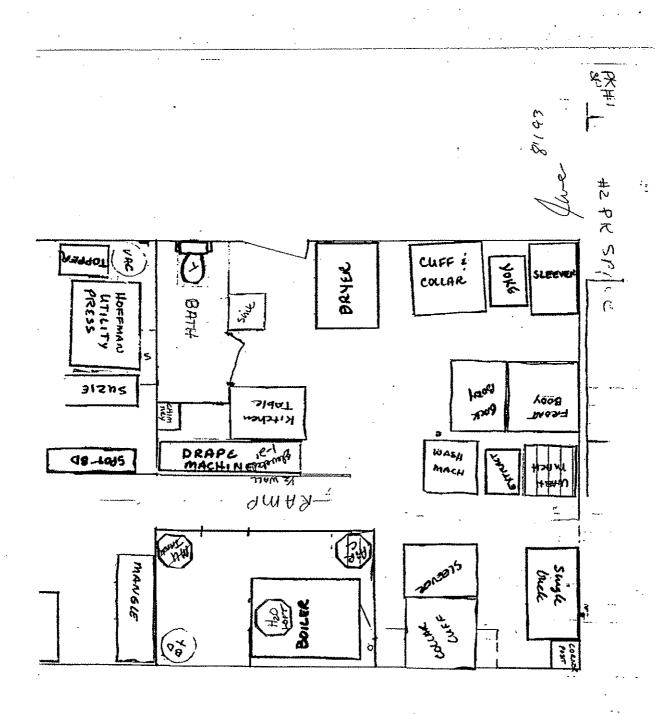
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7500 WEST 29th AVENUE 234-5933 P.O. BOX 638

# DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

PERMIT NO M93#18925

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# DEPARTMENT OF COMMUNITY DEVELOPMENT BUILDING INSPECTION DIVISION CITY OF WHEAT RIDGE, COLO.

PERMIT NO. MM93#4238

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WHEAT RIDGE COLORADO

BUILDING PERMIT

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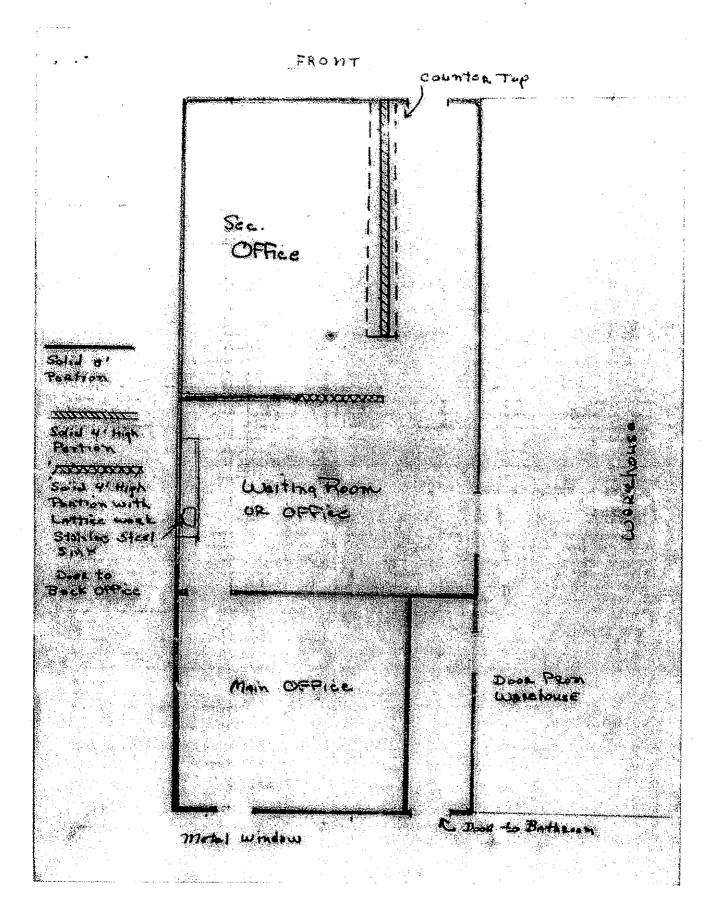
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MAR SHEATH SE

# CITY OF WHEAT RIDGE BUILDING PERMIT APPLICATION 2470 WEST 38th AVENUE

421 8480

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# PLUMBING PERMIT

WHEAT RIDGE, COLORADO

**525** 872#794

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2-25-72	CONTRACTOR OF CAMER	5-72 7150 West 38th Avenue
\$5,00 (\$750)	Zero Plbg. Co.	. Co. owner-Dee Byrnes

PERMISSION IS HEREBY UNANTED TO INSTAIL DIUMBING AND 4 PIXTUTES

# CONDITIONS

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# THIS PERMIT IS NOT TRANSFERABLE

WHEAT RIDGE, COLORADO 80033 CITY OF WHEAT RIDGE 7470 W. 38th AVENUE

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# CITY OF WHEAT RIDGE PLUMBING PERMIT APPLICATION

WASH BOWL PATH TUE

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7470 WEST 38th AVENUE 421 8480 PERMIT NO P STATE JOB ADDRESS ... OWNERS NAME Burner CONTRACTOR LICENSE NO. PHONE . CITY ZIP CODE \_ fore CONTRACT PRICE & FLOOR 82 8th | [Oth | 11th | 12th | 13th 14m | 15m | 16m WATER 14. **Symplerizing** MASH TUBB AUTO BAGNER DESIGNATION FLOOR ORALL (UK) HILLS and the second FEE \$ 5700 (Mamorita): CHIEF BUILDING INSPECTOR City of Wheel Ridge

WHEATHIDEE

# **APPENDIX C**

Environmental Data Resources (EDR), Inc. Radius Report with GeoCheck®, Historical Topographic Maps, and Sanborn Map Report

(under separate cover)